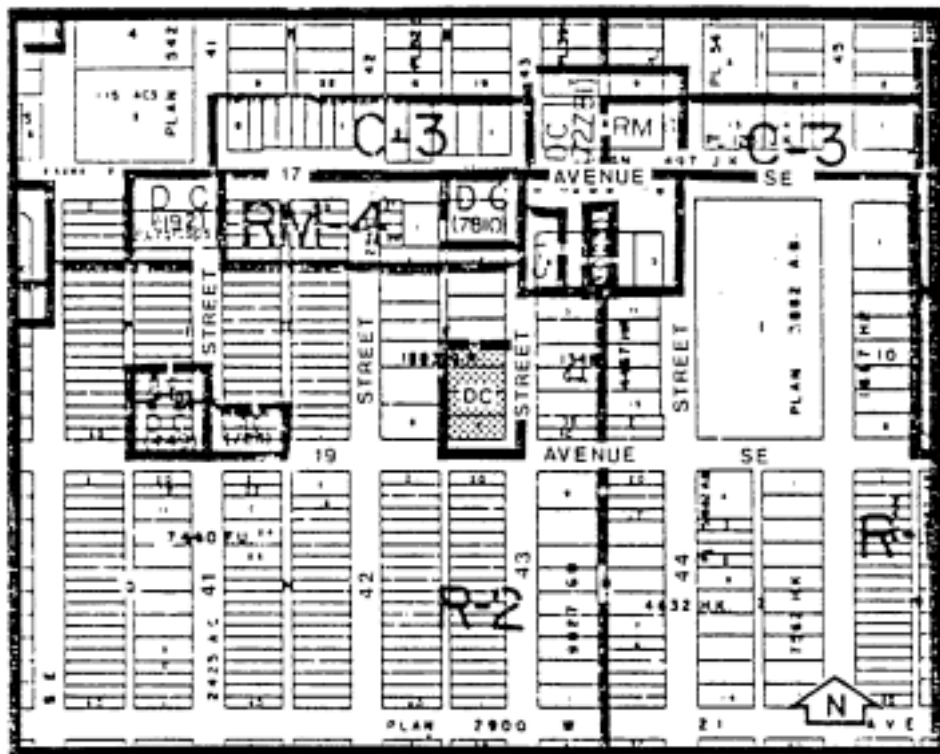


**Amendment No. 82/047**  
**Bylaw No. 117Z82**  
**Council Approval: 15 June 1982**

**SCHEDULE B**



1. Land Use

The land use shall be for a three-storey apartment building.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of By-law 2P80 and the Permitted and Discretionary Use Rules of Section 29 shall apply unless otherwise noted below.

a. Density

Maximum density shall be in order of 36 dwelling units.

b. Height

Maximum building height shall be three storeys not exceeding 9 metres at any eaveline.

c. Landscaping.

Landscaping shall cover a minimum of 48% of the net site area plus any adjoining boulevards. A detailed landscaping plan, including existing vegetation, shall be submitted to the Approving Authority for approval as part of a development permit application.

d. Parking

A minimum of 52 underground parking stalls shall be provided.

e. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application. In considering such an application, the Approving Authorities shall ensure the building and site layout conform substantially to the plans and renderings submitted to City Council during their consideration of By-law #117Z82.