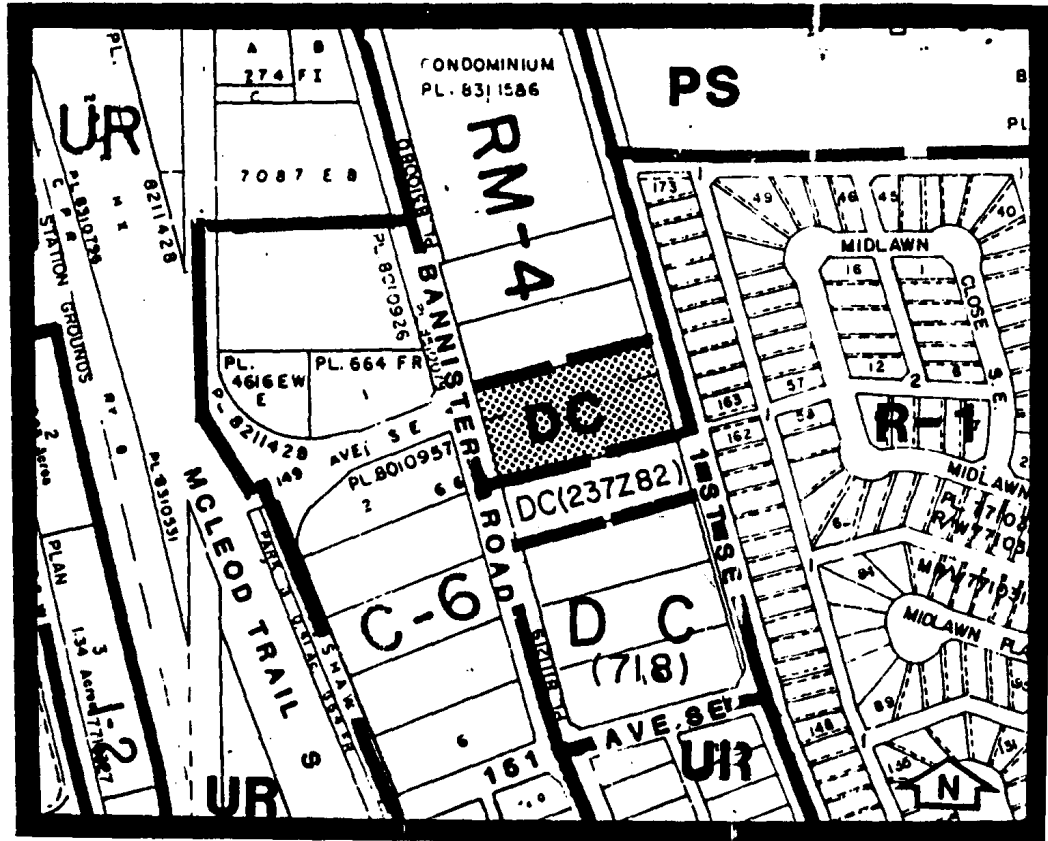


Amendment No. 86/083
Bylaw No. 125Z86
Council Approval: 29 September 1986

SCHEDULE B



1. Land Use

The land use shall be for a retail garden centre with associated offices and signage only.

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of By-law 2P80 and the Permitted and Discretionary Use Rules of the C-1 (Local Commercial District) shall apply unless otherwise noted below.

a) Landscaping

The minimum required rear yard shall be landscaped.

b) Outdoor Paging System

No outdoor, amplified audio paging system shall be permitted.

c) Parking

Parking shall be provided in accordance with the findings of a study of parking requirements for garden centres which is to be prepared and submitted by the applicant to the satisfaction of the Transportation Department.

d) Access

No direct vehicular access or egress shall be permitted from or to First Street S.E.

e) Fencing

The north, south and east boundaries of the site shall be fenced with a minimum 1.5-metre screening fence as shown on the plans submitted.

f) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, hard surface walkways, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application. In considering such an application, the Approving Authorities shall ensure the building appearance, site layout and density conform substantially to the plans and renderings submitted to City Council during its consideration of By-law 125Z86.

g) Berming

A landscaped berm sufficient to screen the proposed building from the residences east of First Street S.E. shall be provided along the eastern boundary of the property.

h) Signage

That no signage be permitted on, nor adjacent to 1 Street S.E.