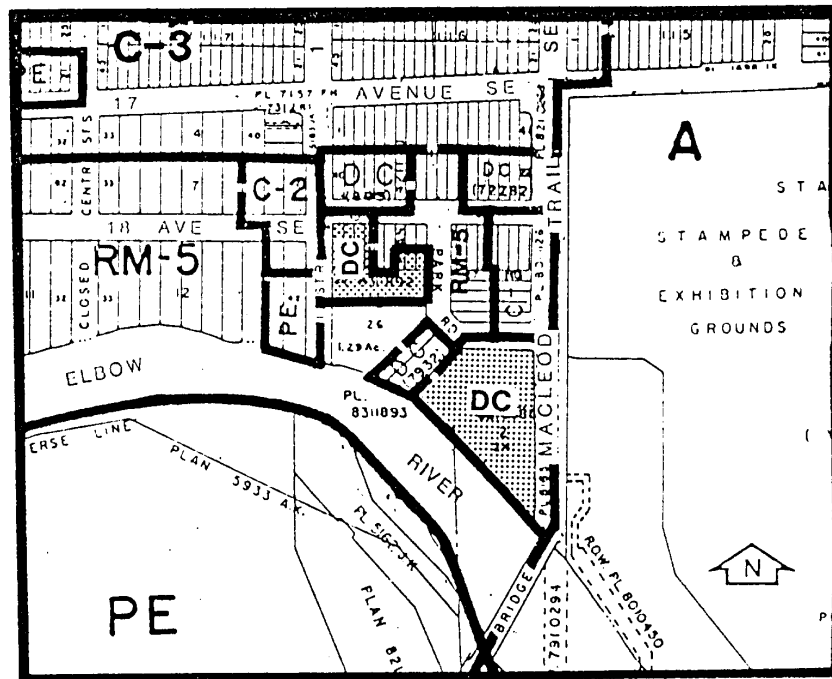


Amendment No. 88/043

Bylaw No. 76Z88

Council Approval: 25 July 1988

SCHEDULE B



A. SITE 1

1. Land Use

The permitted and discretionary uses of the C-3 General Commercial District shall be permitted and discretionary uses respectively with a gaming establishment - casino as an additional discretionary use in a new addition to the existing motel only.

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of By-law 2P80 and the Permitted and Discretionary Use Rules of the C-3 (General Commercial District) shall apply unless otherwise noted below.

a) Height

Maximum building height shall be 1 storey not exceeding 6 metres at any eaveline (not including mechanical penthouse) for the gaming establishment - casino addition.

b) Casino Parking

Parking shall be provided and maintained at a minimum of 1/2.3 seats plus 1 for every 2 staff and volunteer help employed in the operation of the casino.

c) Building Setback

The minimum setback of the proposed casino addition from the Elbow River shall be to the satisfaction of the City Engineer.

d) Floodplain Guideline

Any new development shall conform with the City of Calgary Floodplain Guidelines, to the satisfaction of the Approving Authority.

e) Riverbank Easement

The developers shall provide a public access easement along the Elbow River prior to the release of a Development Permit.

f) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application.

B. SITE 2

1. Land Use

The land use shall be for parking for the gaming establishment - casino located on the Elbow River Inn site only.

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of By-law 2P80 and the Permitted and Discretionary Use Rules of the C-1 (Local Commercial District) shall apply unless otherwise noted below.

a) Yards

- o A minimum of 2 metres where the site abuts a public street or a residential district.

b) Landscaping

All required yards plus any adjoining boulevards shall be landscaped in accordance with a landscaping plan to be submitted to the Approving Authority for approval as part of a development permit application.

c) Parking Areas

Areas must be made visually discontinuous through the use of berms, planters, natural vegetation, terraces, and the like, to the satisfaction of the Approving Authority.

d) Access

No direct vehicular access or egress shall be permitted from or to 1st Street S.E. or Park Road S.E.

e) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including site layout, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application.