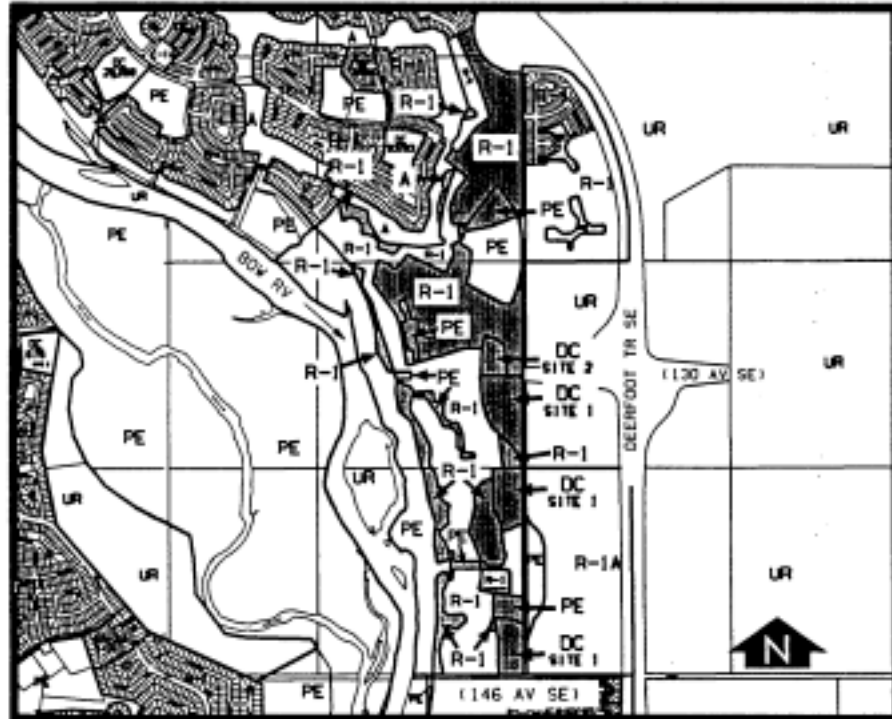


**Amendment No. 93/120**  
**Bylaw No. 53Z94**  
**Council Approval: 20 June 1994**

**SCHEDULE B**



Site 1 6.64 ha.± (16.40 ac.±)

a) Land Use

The Permitted and Discretionary Uses of the RM-1 Residential Low Density Multi-dwelling District shall be the Permitted and Discretionary Uses respectively with the additional Discretionary Use of semi-detached dwellings.

b) Development Guidelines

The General Rules for Residential Districts contained in Section 20 of By-law 2P80 and the Permitted and Discretionary Use Rules of the RM-1 Residential Low Density Multi-dwelling District shall apply unless otherwise noted below.

i) All-turns Access and Egress

All-turns access and egress to Mt. McKenzie Drive SE shall be located opposite a public roadway.

ii) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application.

Site 2 0.88 ha.± (2.17 ac.±)

a) Land Use

The Permitted and Discretionary Uses of the C-1A Local Commercial District shall be the Permitted and Discretionary Uses respectively with the additional Discretionary Use of drinking establishments.

b) Development Rules

The General Rules for Commercial Districts contained in Section 21 of By-law 2P80 and the Permitted and Discretionary uses Rules of the C-1A Local Commercial District shall apply unless otherwise noted below.

i) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application.