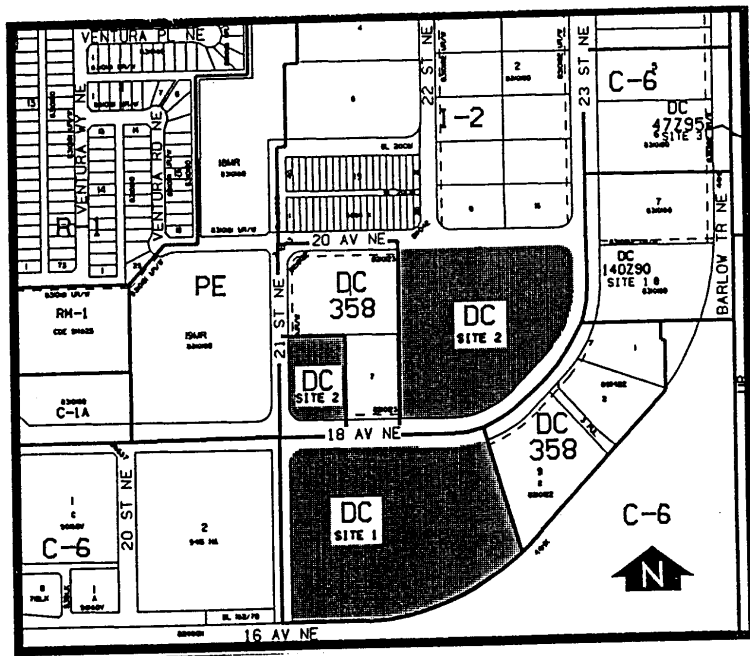


Amendment No. 93/081
Bylaw No. 4Z96
Council Approval: 19 March 1996

SCHEDULE B



Site 1. The Crossroads Fleamarket Lot 1, Block 9, Plan 8210122

1. Land Use

The Permitted and Discretionary Uses of the I-2 General Light Industrial District of Bylaw 2P80 shall be Discretionary Uses. Retail stores shall be considered to be discretionary use in the building which is situated on the site on the date of passage of this bylaw.

2. Development Guidelines

- a) The General Rules of Industrial Districts contained in Section 43 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the I-2 District shall apply.
- b) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Development Authority as part of a development permit application.

c) Transportation Requirements

The developer shall submit a satisfactory traffic impact report if required by the Director of Transportation for any development permit application on these lands.

Site 2. The vacant lots 2, 3, 4, 5, 6, 8, Block 10, Plan 8210122

1. Land Use

The Permitted and Discretionary Uses of the I-2 General Light Industrial District of Bylaw 2P80 shall be Discretionary Uses.

2. Development Guidelines

a) The General Rules of Industrial Districts contained in Section 43 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the I-2 District shall apply.

b) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Development Authority as part of a development permit application.

c) Transportation Requirements

The developer shall submit a satisfactory traffic impact report if required by the Director of Transportation for any development permit application on these lands.