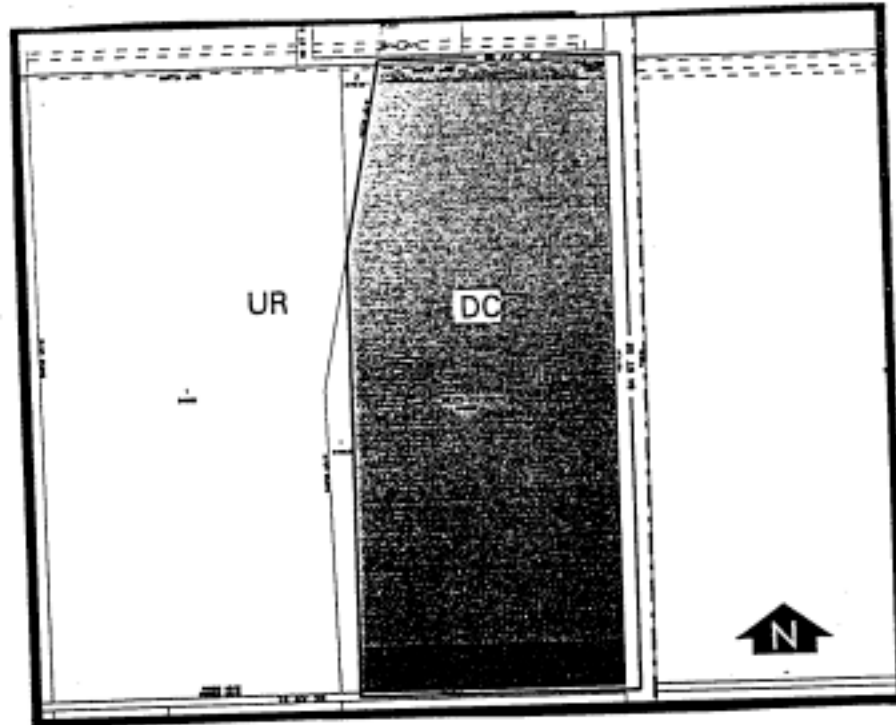


**Amendment No. 97/018**  
**Bylaw No. 61Z97**  
Council Approval: 26 June 1997

**SCHEDULE B**



1. Land Use

a. Permitted Uses:

Essential Public services  
Utilities

b. Discretionary Uses:

Accessory uses  
Accessory buildings  
Offices in association with a primary use  
Manufacturing, fabricating, processing, disassembly,  
production or packaging of steel materials, goods or  
products

2. Development Guidelines

In addition to the General Rules for Industrial Districts contained in Section 43 of Bylaw 2P80 the following shall apply to all permitted and discretionary uses:

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### SCHEDULE B

#### CONTINUED

a. Performance Standards

No use or operation shall cause or create any conditions which may be objectionable or dangerous beyond the boundary line of the site which contains it, such as the following:

- i. noise,
- ii. odour,
- iii. earthborne vibrations,
- iv. heat, or
- v. high brightness light sources.

b. Site Area

The site area shall be 26.78 ha $\pm$  (66.17 ac. $\pm$ ).

c. Floor Area Ratio

The gross floor area for all buildings shall be a maximum of 0.25 times the site area including covered or enclosed outside storage areas.

d. Yards

A minimum depth of 6 metres, or a depth equal to half the height of the principal building, whichever is greater.

e. Building Height

A maximum of 12 metres.

f. Landscaped Area

The following areas shall be landscaped:

- i. all yards to a minimum depth of 6 metres;
- ii. a strip adjacent to the front of the principal building where loading does not occur, to an average depth of 2.5 metres;

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### SCHEDULE B

CONTINUED

- iii. all adjoining City boulevards; and
- iv. notwithstanding (i), a 50 metre wide landscaped buffer along the west boundary of the site adjacent to the Transportation and Utility Corridor to the satisfaction of the Development Authority.

g. Design, Character and Appearance

All structures shall be designed and constructed with high quality, durable materials satisfactory to the Development Authority that would be compatible with a full range of land uses that may occur in the area. In reviewing and making a decision on a development permit application, the Development Authority will take into account the uses that are existing, planned for, or may be proposed in the immediate vicinity of this site.

h. Outside Storage

Outside storage, including the storage of trucks and trailers, shall be allowed to the side or rear of buildings provided that:

- i. such storage areas do not include any required minimum yards or landscaped areas;
- ii. the storage is visually screened from public thoroughfares; and
- iii. all storage is related to the business or industry on the site.

i. Garbage Storage

Garbage and waste material shall be stored in weatherproof and animal-proof containers in accordance with the Waste Bylaw and shall be visually screened from all adjacent sites and public thoroughfares.

j. Stormwater Management

- i. The owner of the site shall employ stormwater management techniques in accordance with a stormwater management study approved by the City

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## **SCHEDULE B**

CONTINUED

Engineer the details of which are to be resolved prior to the approval of a development permit for this site;

ii. Stormwater retention areas shall not encroach into utility or pipeline rights-of-way.

k. Deferred Services Agreement

Prior to the release of a development permit, the Development Authority shall ensure that a Deferred Services Agreement shall be executed between the owners and the City, to the satisfaction of the City Engineer.

l. Custodial Quarters

Custodial quarters shall be limited to one only and shall be part of a principal use building.

m. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Development Authority as part of a development permit application.