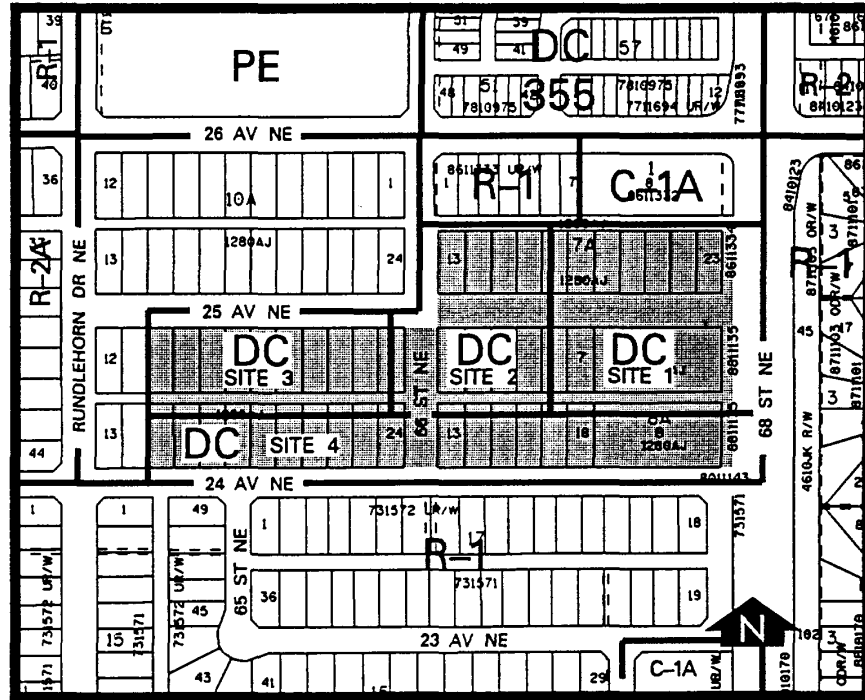


Amendment No. 99/065
Bylaw No. 130Z99
Council Approval: 13 December 1999

SCHEDULE B



Site 1 (1.16 ha)

- 1) Land Use
 - a) The land use shall be for a congregate care apartment building only.
 - b) For the purposes of this bylaw "congregate care" shall mean a modified apartment building which provides, on a permanent basis, common amenities and services for the residents such as, but not limited to, communal dining, social/recreational activities and housekeeping within the building.
- 2) Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-4 Residential Multi-Dwelling District shall apply, unless otherwise noted below.

 - a) Density

A maximum of 120 dwelling units.

b) Yards

The north yard shall be a minimum of 5.0 metres and the east yard shall be a minimum of 7.5 metres. No building on Site 1 shall be closer than 18 metres to any building on Site 2.

c) Building Height

The maximum height to the eaveline shall be 9 metres.

d) Landscaped Area

A minimum of 40 percent of the site area with all landscaped areas at grade or within 1 metre above grade.

e) Parking

- i) Underground parking for a minimum of 60 resident stalls and 8 employee stalls shall be provided.
- ii) A minimum of 14 visitor stalls shall be provided at grade.

f) Building Design

The design, character and appearance of the buildings shall be compatible with, and complementary to the surrounding area.

g) Exterior Finish Materials

The exterior finish materials shall include a combination of vinyl or stucco with stone or brick, with a roof finish of asphalt shingles or an equivalent.

h) Site Access

Vehicle access shall be via 66 Street N.E. only with access driveways being signed as "no parking".

i) Underground Parkade - Entrance and Exit

The underground parkade vehicle entrance shall only be accessed via 66 Street N.E.

j) Development Agreement

Prior to the release of a development permit, the applicant shall enter into a development agreement to the satisfaction of the City Solicitor.

k) Emergency Fire Access

Emergency fire access shall be provided to the satisfaction of the Fire Department.

l) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application. In considering such an application, the Approving Authority shall ensure the site layout is generally consistent with the Development Concept Site Plan submitted to City Council during their consideration of this Bylaw.

Site 2 (0.89 ha)

1) Land Use

The land use shall be for an apartment building only.

2) Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-4 Residential Multi-Dwelling District shall apply, unless otherwise noted below.

a) Density

A maximum of 60 dwelling units.

b) Yards

The north yard shall be a minimum of 5.0 metres. No building on Site 2 shall be closer than 18 metres to any building on Site 1.

c) Building Height

The maximum height to the eaveline shall be 9 metres.

d) Landscaped Area

A minimum of 40 percent of the site area with all landscaped areas at grade or within 1 metre above grade and shall include a landscaped buffer to the satisfaction of the Approving Authority to be located, between development on Site 2 and Site 1.

e) Parking

i) Resident parking shall be a minimum of 75 at-grade stalls (1.15 stalls per unit).

ii) Visitor parking shall be a minimum of 15 at-grade stalls (0.25 stalls per unit).

iii) Direct access shall be provided from parking areas to primary building entrances.

f) Building Design

The design, character and appearance of the buildings shall be compatible with, and complementary to the surrounding area.

g) Exterior Finish Materials

The exterior finish materials shall include a combination of vinyl or stucco with stone or brick, with a roof finish of asphalt shingles or an equivalent.

h) Site Access

Vehicle access shall be via the intersection at 66 Street N.E. and 25 Avenue NE only.

i) Development Agreement

Prior to the release of a development permit, the applicant shall enter into a development agreement to the satisfaction of the City Solicitor.

j) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application. In considering such an application, the Approving Authority shall ensure the site layout is generally consistent with the Development Concept Site Plan submitted to City Council during their consideration of this Bylaw.

Site 3 (0.76 ha)

1) Land Use

The land use shall be for an apartment building only.

2) Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-4 Residential Multi-Dwelling District shall apply, unless otherwise noted below.

a) Density

A maximum of 60 dwelling units.

b) Yards

The north yard shall be a minimum of 5.0 metres.

c) Building Height

The maximum height to the eaveline shall be 9 metres.

d) Landscaped Area

A minimum of 40 percent of the site area with all landscaped areas at grade or within 1 metre above grade.

e) Parking

- i) Resident parking shall be a minimum of 75 underground stalls (1.15 stalls per unit).
- ii) Visitor parking shall be a minimum of 15 at-grade stalls (0.25 stalls per unit).

f) Building Design

The design, character and appearance of the buildings shall be compatible with, and complementary to the surrounding area.

g) Exterior Finish Materials

The exterior finish materials shall include a combination of vinyl or stucco with stone or brick, with a roof finish of asphalt shingles or an equivalent.

h) Site Access

Vehicle and parkade access shall be via 25 Avenue N.E. only. Visitor parking shall be oriented towards, and accessed from 25 Avenue NE.

i) Underground Parkade - Entrance and Exit

The underground parkade vehicle entrance shall only be accessed and exited via 25 Avenue N.E.

j) Development Agreement

Prior to the release of a development permit, the applicant shall enter into a development agreement to the satisfaction of the City Solicitor.

k) Emergency Fire Access

Emergency fire access shall be provided to the satisfaction of the Fire Department.

l) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application. In considering such an application, the Approving Authority shall ensure the site layout is generally consistent with the Development Concept Site Plan submitted to City Council during their consideration of this Bylaw.

Site 4 (1.23 ha)

1) Land Use

The land use shall be for stacked townhousing.

2) Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-4 Residential Multi-Dwelling District shall apply, unless otherwise noted below.

a) Density

A maximum of 9 buildings with 6 dwelling units per building, for a total of 54 units.

b) Yards

- i) The side yards between the respective buildings shall be a minimum of 4.5 metres.
- ii) The south yard shall be a minimum of 7.5 metres.

c) Building Height

The maximum height to the eaveline shall be 6.8 metres and to the top of the roof shall be 10.5 metres.

d) Landscaped Area

- i) A minimum of 40 percent of the site area, with all landscaped areas at grade or within 1 metre above grade.
- ii) The south yard shall be planted with trees and shrubs and a suitable ground cover to emulate a suburban front yard landscape treatment, to the satisfaction of the Approving Authority.

e) Parking

All units shall have an attached garage with a minimum 6.0 metre driveway parking apron.

f) Building Design

- i) The design, character and appearance of the buildings shall be compatible with, and complementary to the surrounding area with staggered front setbacks along 24 Avenue NE.
- ii) Buildings consisting of three different building elevations shall front onto 24 Avenue NE and be suitably screened and landscaped.

g) Private Amenity Space

The south building elevation may contain balconies which shall not project more than 1.5 metres from the southerly outer wall.

h) Exterior Finish Materials

The exterior finish materials shall include a combination of vinyl or stucco with stone or brick, with a roof finish of asphalt shingles or an equivalent.

i) Site Access

i) Vehicle access shall be via 66 Street N.E. only with a hammerhead turnaround at the west end of the private road serving Site 4.

ii) Public pedestrian access shall be provided from the 66 Street NE alignment to 24 Avenue NE.

j) Development Agreement

Prior to the release of a development permit, the applicant shall enter into a development agreement to the satisfaction of the City Solicitor.

k) Emergency Fire Access

Emergency fire access shall be provided to the satisfaction of the Fire Department.

l) Addressing of private roads shall include the prefix of "Pine" in their naming.

m) Development Plans

Approval of this application does not constitute approval of a development permit.

Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application. In considering such an application, the Approving Authority shall ensure the and site layout is generally consistent with the Development Concept Site Plan submitted to City Council during their consideration of this Bylaw.