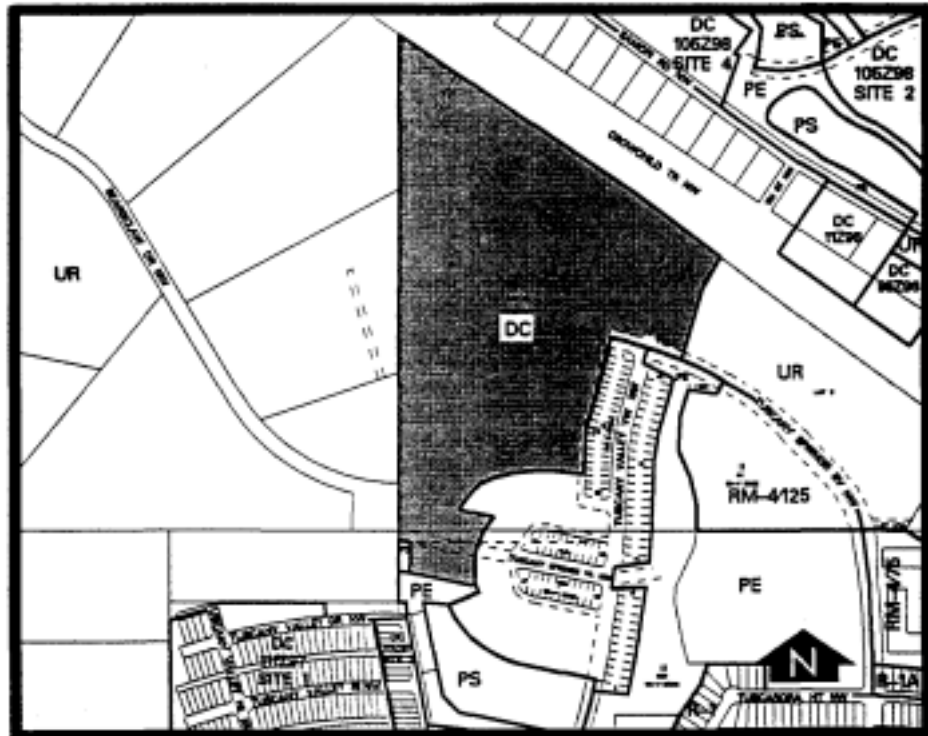


Amendment No. 99/042
Bylaw No. 74Z99
Council Approval: 19 July 1999

SCHEDULE B



(1) Land Use

(a) Permitted Uses

The following uses shall be permitted within a small lot development area:

Accessory Buildings
Essential Public Services
Parks and Playgrounds
Utilities
Single-Detached Dwellings
Home Occupation - Class 1

(b) Discretionary Uses

Small Lot Development Areas (C.U.)

In addition, the following uses may be allowed in small lot development areas:

Home occupations - Class 2 (NP)
Public and quasi-public buildings (NP)
Signs

Note: N.P.: Notice posting is mandatory for these uses in accordance with Section 10(4).

C.U.: Certainty of Land Use Only is afforded applications that meet the requirements of Section 11(2)(b).

(2) Development Guidelines

The General Rules for Residential Districts as contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the R-1A Residential Narrow lot Single-Detached District shall apply unless otherwise noted below:

(a) Lot Coverage

A maximum of 55 percent which shall be reduced by a minimum area of 18 square metres for each required on-site parking stall, except where the required parking stall is provided within a carport or private garage.

(b) Building Height

A maximum of 9 metres except 10 metres for a building having a walk-out basement as identified and approved within a small lot development area.

(c) Lot Width

(i) The minimum lot width shall be 7.6 metres;

(ii) Section 22.2 (3)(e)(ii) and (iii) of the R-1A Residential Narrow Lot Single-Detached District shall apply.

(d) Zero Lot Line and Private Maintenance Easement

(i) Where the owner of the adjacent site provides a private maintenance easement referred to in Section 22.1 (3)(b)(ii), it shall:

(A) be 1.5 metres in width;

(B) be registered by caveat against the title of the site proposed for development and the title of the adjacent site; and

(C) include a 600 mm eave and footing encroachment easement.

(ii) All roof drainage from a building shall be directed onto the site by eavestroughs and downspouts.

(e) Rules for Small Lot Development Areas

- (i) Development design guidelines shall be provided for all dwellings and accessory buildings in a small lot development area;
- (ii) Development Design guidelines shall be to the satisfaction of the Development Authority and shall regulate the provision, coordination and integration of the following:
 - (A) streetscape;
 - (B) impact on adjacent sites;
 - (C) outdoor amenity space;
 - (D) any other matter considered necessary by the Development Authority.
- (iii) All dwellings and accessory buildings shall comply with the development design guidelines within the approved small lot development area.

(f) Development Plans

Approval of this application does not constitute approval of a development permit Comprehensive plans shall be submitted to the Development Authority as part of a development permit application.