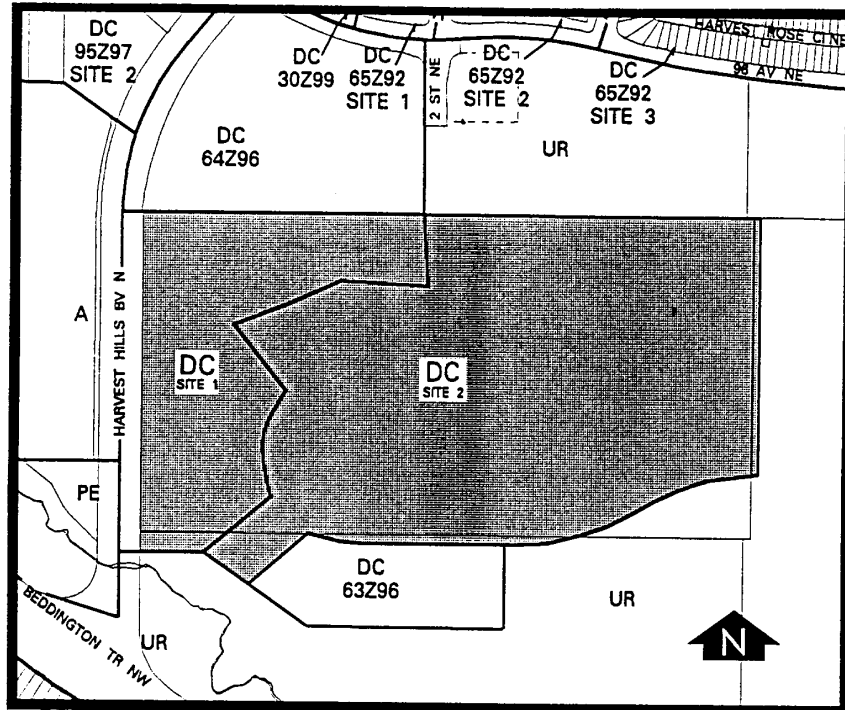


Amendment No. 99/047
Bylaw No. 25Z2000
Council Approval: 13 April 2000

SCHEDULE B



- 1) Land Use
 - a) Permitted Uses
 - Essential public services
 - Parks and playgrounds
 - Utilities
 - b) Discretionary Uses
 - Accessory uses
 - Accessory buildings
 - Ancillary commercial uses
 - Athletic and recreational facilities
 - Bottle return depots
 - Car wash (Site 2)
 - Child care facilities
 - Commercial schools

Comprehensively designed industrial-business parks (CU)
Financial institutions
Laboratories
Manufacturing, fabricating, processing, disassembly, servicing, testing, production or packaging of materials, goods or products, which conforms with the performance standards set out in Section 43(1) of Bylaw 2P80
Motion picture production facilities
Movement or storage of materials, goods or products (Site 2)
Offices
Parking areas and structures
Private Clubs
Radio and television studios
Signs

2) Development Guidelines

The General Rules for Industrial Districts in Section 43 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the I-2 General Light Industrial District shall apply unless otherwise noted below:

a) Yards

A minimum depth of 6 metres or a depth equal to half the height of the principal building, whichever is greater.

b) Building Height

A maximum of 16 metres.

c) Floor Area Ratio

i) The gross floor area for all uses except office buildings shall be a maximum of 0.5 FAR.

ii) The gross floor area for office buildings shall be a maximum of 1.0 times the site area.

d) Design, Character and Appearance

All structures shall be designed and constructed with high quality, durable materials satisfactory to the Development Authority that would be compatible with a full range of land uses that may occur in the area. In reviewing and making a decision on a development permit application, the Development Authority will take into account the uses that are existing, planned for or may be proposed in the immediate vicinity of this site.

e) Outside Storage

Outside storage shall be limited to the storage of trucks and trailers only, and shall be allowed to the side or rear of buildings provided that:

- i) such storage areas do not include any required minimum yards or landscaped areas;
- ii) all storage is related to the business on the site;
- iii) storage areas are not adjacent to Harvest Hills Boulevard; and
- iv) the storage is visually screened from all other public thoroughfares.

f) Stormwater Management

- i) The owner of the site shall employ stormwater management techniques in accordance with the stormwater management study approved by the City Engineer.
- ii) Stormwater retention areas shall not encroach into utility or pipeline rights-of-way.

g) Airport Vicinity

Any development shall be approved and operated in accordance with the requirements and limitations of the AVPA Regulation of the Calgary International Airport.

h) Traffic Signal

That with respect to the traffic signal requirements at Harvest Hills Boulevard and the unnamed major road accessing the plan area north of West Nose Creek, a traffic signal requirement be incorporated into a special clause in the development agreement for the overall site (including City lands).

i) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Development Authority as part of a development permit application.