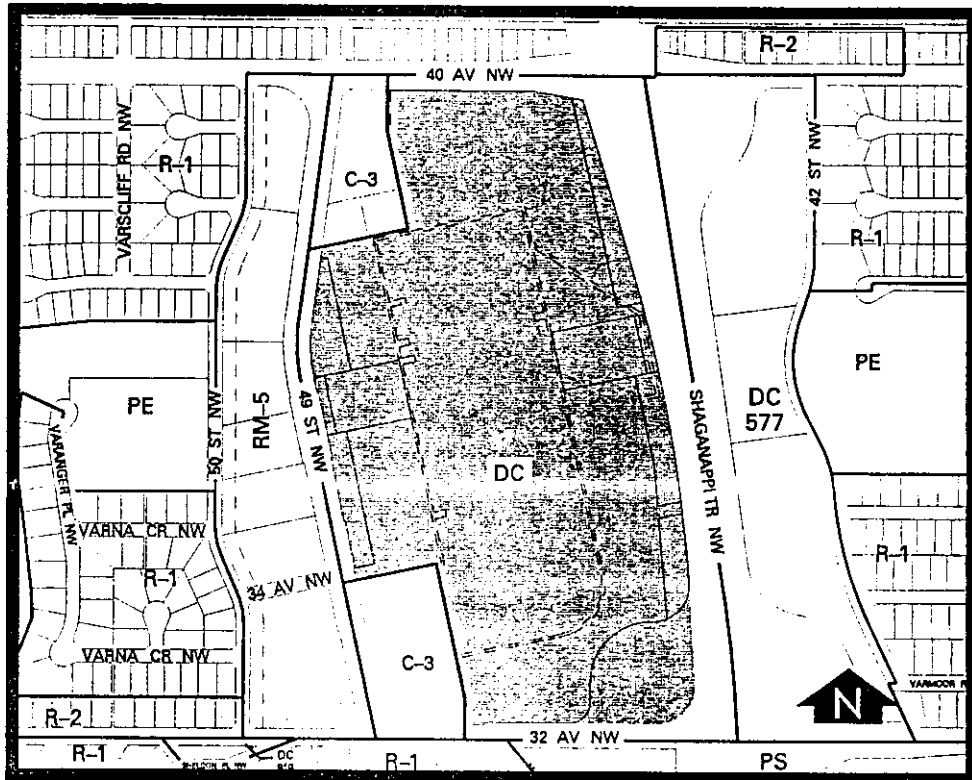


**Amendment # 99/131**  
**Bylaw # 66Z2001**  
Council Approval: 2001 October 11

**SCHEDULE B**



**DC DIRECT CONTROL DISTRICT**

1. Land Use

The Permitted and Discretionary Uses of the C-5 Shopping Centre Commercial District of Bylaw 2P80 shall be the Permitted and Discretionary Uses respectively.

## 2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the C-5 Shopping Centre Commercial District shall apply unless otherwise noted below:

### (a) Density

Notwithstanding Sections 39(5)(c)(i) and (c.1) of Bylaw 2P80, a maximum Floor Area Ratio (F.A.R.) of 0.46:1, not exceeding a net leasable area of 86 010 square metres (925,830 square feet) shall apply.

### (b) Signage

In addition to the requirements of the Sign Appendix of Bylaw 2P80, the following rules shall apply:

- (i) Media Boards not exceeding 19 square metres in area may be allowed to extend above the main wall parapet at main mall entrances where they form an integral part of the entry feature;
- (ii) Copy for the Media Boards provided for in Section 2(b)(i) of this Bylaw shall be limited to mall services and tenants within the mall or for special mall events. No third party advertising shall be allowed at any time.

For the purpose of this Bylaw, "Media Board" means signage incorporated as an integral part of the building structure or architectural detailing which portrays images of products and services available within the development and contains minimal levels of textual information.

### (c) Development Plans

Comprehensive plans shall be submitted to the Development Authority as part of a development permit application. In considering such an application, the Development Authority shall ensure that the building orientation, footprint and site design conform substantially to the plans and renderings submitted to City Council on 2001 October 01 during its consideration of this Bylaw.