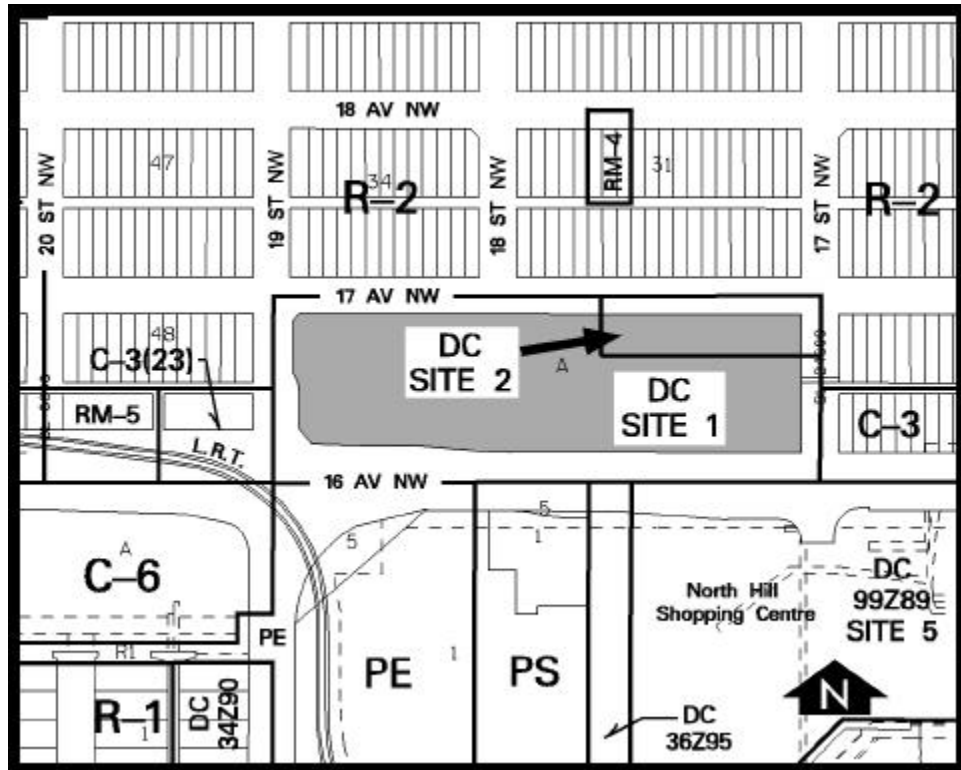


Amendment # LOC2003-0058
Bylaw # 119Z2003
Council Approved: December 15, 2003

SCHEDULE B



DC DIRECT CONTROL DISTRICT

SITE 1 1.77 ha \pm (4.37 ac \pm)

1. Land Use

The Permitted Uses shall be:

- Accessory food service
- Retail store
- Signs – Class 1; and

The Discretionary Uses shall be:

- Signs - Class 2
- Utilities

CONTINUED

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the C-3(16) General Commercial District shall apply except as amended or replaced below:

(a) Gross Floor Area

- (i) A maximum gross floor area of 8700 square metres for the retail store; and
- (ii) A maximum gross floor area of 20 square metres for the accessory food service.

(b) Landscaped Area

The landscaping of yards adjacent to 16 Avenue and 19 Street N.W. shall be landscaped according to the “City by the Rockies” theme, as envisioned in and required by the “Improving Calgary’s Entranceways Study”.

(c) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application. In considering such an application, the Approving Authority shall ensure the building design and site layout substantially conform with the plans and renderings available to City Council during its consideration of this Bylaw.

(d) Special Development Agreement

That prior to the release of a development permit, the Applicant shall enter into a Special Development Agreement with regard to a traffic study to be conducted after the development is occupied, and within one year of issuing of the Development Completion Certificate, and with regard to any traffic mitigation measures that may be appropriate, all to the satisfaction of the Approving Authority.

SITE 2 0.23 ha ± (0.57 ac ±)

1. Land Use

The Permitted Uses shall be:

Home Occupations – Class 1
Parking areas and parking structures

The Discretionary Uses shall be:

Townhouses (C.U.)
Stacked Townhouses (C.U.)
Home occupations - Class 2

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-1 Residential Low Density Multi-Dwelling District of Bylaw 2P80 shall apply except as otherwise noted below:

CONTINUED

(a) Density

The maximum number of dwelling units shall be 20.

(b) Lot Depth

A minimum lot depth of 21.5 metres.

(b) Townhouse Development

(i) Yards

(A) A minimum of 8 metres along 17 Avenue N.W. for the provision of private outdoor amenity space; and

(B) There is no requirement for a rear yard setback.

(ii) Resident and Visitor Parking

All resident and visitor parking shall be provided in an underground parking structure.

(iii) Townhouse Blocks

Townhouses and stacked townhouses shall be developed to a maximum of 6 attached dwelling units per block of townhouses, in order to provide a visual break between the overall massing of the development.

(c) Commercial Parking

Commercial parking shall only be allowed for the retail store located on Site 1.